

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 1249335M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary

Date of issue: Tuesday, 07 June 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



### Project summary

Project name	4368A Diggings Thredbo - BELLEVARDE_02
Street address	30 Diggings Terrace Thredbo 2625
Local Government Area	Snowy Monaro Regional Council
Plan type and plan number	deposited 1119757
Lot no.	794
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	9
No. of multi-dwelling houses	0
No. of single dwelling houses	0

### Project score

Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 15	Target 15

### Certificate Prepared by

Name / Company Name: Lin & Associates Pty Ltd

ABN (if applicable): 34097383821

# Description of project

## Project address

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Section no.	-

## Project type

No. of residential flat buildings	1
No. of units in residential flat buildings	9
No. of multi-dwelling houses	0
No. of single dwelling houses	0

## Site details

Site area (m <sup>2</sup> )	687
Roof area (m <sup>2</sup> )	444
Non-residential floor area (m <sup>2</sup> )	-
Residential car spaces	11
Non-residential car spaces	-


## Common area landscape

Common area lawn (m <sup>2</sup> )	0.0
Common area garden (m <sup>2</sup> )	234.0
Area of indigenous or low water use species (m <sup>2</sup> )	-

## Assessor details

Assessor number	DMN/19/1894
Certificate number	0006751630
Climate zone	69
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No

## Project score

Water	 41	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 15	Target 15

## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building1, 9 dwellings, 7 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
201	2	129.0	4.0	0.0	-
601	3	145.0	3.0	0.0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
202	2	129.0	4.0	0.0	-
602	3	149.0	3.0	0.0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
402	3	160.0	5.0	0.0	-
401A	1	90.0	4.0	0.0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
501	4 or more bedrooms	170.0	5.0	0.0	-
401B	1	36.0	11.0	0.0	-

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
502	3	176.0	2.0	0.0	-

## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building1

Common area	Floor area (m²)
Car park area (All)	358.0
Resident Bin Store	15.0
Fire Stairs	60.0

Common area	Floor area (m²)
Lift car (No.1)	-
Bike Store (All)	102.0
Hallway/lobby (All)	64.0

Common area	Floor area (m²)
Lift motor room	5.0
Fire Service Pump Room	8.5

# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building1

### (a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

### (b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

## 2. Commitments for multi-dwelling houses

## 3. Commitments for single dwelling houses

## 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building1

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	3 star	4 star	4 star	no	2.5 star	3 star	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	electric storage	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
501	-	-	electric floor heating	-	4	1	yes	yes	no	yes	0	no

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
201, 202	-	-	electric floor heating	-	2	1	yes	yes	no	yes	0	no
401A, 401B	-	-	electric floor heating	-	1	1	yes	yes	no	yes	0	no
All other dwellings	-	-	electric floor heating	-	3	1	yes	yes	no	yes	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	4 star	no	4 star	4 star	6 star	yes	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in mJ/m <sup>2</sup> /yr)
201	202.7	2.4
202	199.8	2.0
402	175.3	0.2
501	186.7	3.1
502	217.3	3.1
601	220.3	6.4
602	241.0	4.7
401A	224.5	0.4
All other dwellings	137.1	2.4

**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Fire sprinkler system (No. 1)	-	So that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (All)	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	fluorescent	time clock and motion sensors	No
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	No
Lift motor room	no mechanical ventilation	-	fluorescent	manual on / manual off	No
Resident Bin Store	ventilation exhaust only	-	fluorescent	motion sensors	No
Bike Store (All)	no mechanical ventilation	-	fluorescent	motion sensors	No
Fire Service Pump Room	ventilation supply only	thermostatically controlled	fluorescent	manual on / manual off	No
Fire Stairs	no mechanical ventilation	-	fluorescent	time clock and motion sensors	No
Hallway/lobby (All)	no mechanical ventilation	-	fluorescent	time clock and motion sensors	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 6

#### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

##### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 11.2 peak kW

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

# Assessor Construction Summary

<b>Project:</b>	<b>Address:</b>	30 Diggings Terrace Thredbo Village			
	<b>Applicant:</b>	Hidali Pty Ltd			
<b>Contact:</b>	<b>Name:</b>	Elaine Yang			
	<b>Contact:</b>	<a href="mailto:elaine@bellevarde.com.au">elaine@bellevarde.com.au</a>			
<b>Assessor:</b>	<b>Name:</b>	Ailin Zhang		<b>Company:</b>	Lin & Associates
	<b>Address:</b>	PO Box 5080. Sth Turramurra. 2074		<b>Number:</b>	DMN/19/1894
	<b>Contact:</b>	0412-988088		<b>Email:</b>	<a href="mailto:ailin@linassociates.com.au">ailin@linassociates.com.au</a>
<b>Ext. Walls:</b>	<b>Construction</b>	<b>Insulation</b>		<b>Colour</b>	<b>Details</b>
	Metal Cladding	R1.5		Med	As per plans
<b>Int. Walls:</b>	<b>Construction</b>	<b>Insulation</b>			<b>Details</b>
	Plasterboard on studs	None			As per plans
	Concrete lined	None			Party walls
<b>Floors:</b>	<b>Construction</b>	<b>Insulation</b>			<b>Details</b>
	Concrete	None			Tile, Carpet
		R2.0			Floors above car park
<b>Ceilings:</b>	<b>Construction</b>	<b>Insulation</b>			<b>Details</b>
	Concrete/plasterboard	R2.0			In unit 201A & 202A with car park above
	Suspended Plasterboard	R2.0			Under all roofs
<b>Roof:</b>	<b>Construction</b>	<b>Insulation</b>		<b>Colour</b>	<b>Details</b>
	Concrete	None		Med	As per plans
	Metal	60mm Anticon R1.3		Dark	
<b>Windows:</b>	<b>Product ID</b>	<b>Glass</b>	<b>Frame</b>	<b>Uw/SHGCw</b>	<b>Window types</b>
				2.30/0.43	Doors
				1.90/0.62	Fixed windows
				3.10/0.32	Awning windows
				2.40/0.28	Sliding doors
<b>Skylights:</b>	<b>Product ID</b>	<b>Glass</b>	<b>Frame</b>	<b>Uw/SHGCw</b>	<b>Details</b>
	N/A				
<b>Other:</b>	<b>Orientation</b>	<b>Terrain</b>	<b>Weatherseals</b>	<b>Climate Zone</b>	<b>Recessed Downlights</b>
	70	Suburban	Yes	69	YES - SEALED TYPE ONLY
					100mm LED at 1 per 5 sqm of ceiling space
<b>Overshadowing Details:</b>	Other Project Building				
<b>Assessment:</b>	<b>Drawings:</b>	30 Diggings Terrace Thredbo Village dwgs as stamped			
	<b>File Ref:</b>	4368A.01			
	<b>Software:</b>	BERS Pro 4.4			



<b>Certification Number:</b>	<b>0006751630</b>	<b>Date:</b>	<b>07-June-2022</b>
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Unit No.	Insulation Summary (refer also to table above)						Sealed exhaust vents & SEALED Recessed Downlights ONLY
	Floor Insulation R2.0 above Car Park	Ext Wall Insulation R1.5	Ceiling Insulation R2.0	Roof Insulation 60mm Anticon R1.3			
201		X	X				X
202		X	X				X
401A	X	X					X
401B	X	X					X
402	X	X					X
501		X					X
502		X					X
601		X	X	X			X
602		X	X	X			X

**Disclaimer:** By using this summary you are accepting all the terms of this disclaimer notice. While every effort is made to ensure that the content of this summary is accurate, the summary is provided "as is" and Victor Lin & Associates Pty Ltd, makes no representations or warranties in relation to the accuracy or completeness of the information found on it. In no event will Victor Lin & Associates Pty Ltd, be liable for any damages whatsoever for any differences between this summary and the NatHERS Univesal Certificates that relate to this project. You accept that it is your responsibility to check the Universal Certificates and comply with any differences that may exist on those certificates.



# Nationwide House Energy Rating Scheme — Class 2 summary

## NatHERS Certificate No. 0006751630

Generated on 06 Jun 2022 using BERS Pro v4.4.1.5 (3.21)

### Property

**Address** 30 Diggings Terrace , Thredbo Village , NSW , 2625

**Lot/DP** 794/1119757

**NatHERS climate zone** 69

**Accredited assessor** 

Ailin Zhang

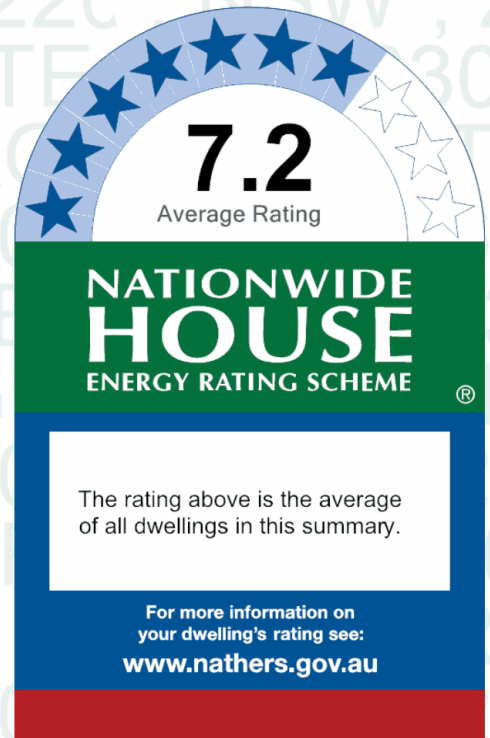
Victor Lin Associates Pty Ltd

ailin@linassociates.com.au

1800884199

**Accreditation No.** DMN/19/1894

**Assessor Accrediting Organisation** Design Matters National



### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=HSaPPWLLn](http://hstar.com.au/QR/Generate?p=HSaPPWLLn). When using either link, ensure you are visiting [hstar.com.au](http://hstar.com.au)

### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
<a href="#">0007780919-01</a>	201	202.7	2.4	205.1	7.1
<a href="#">0007780901-01</a>	202	199.8	2	201.8	7.2
<a href="#">0007780935-01</a>	402	175.3	0.2	175.6	7.5
<a href="#">0007780893-01</a>	501	186.7	3.1	189.7	7.3
<a href="#">0007780927-01</a>	502	217.3	3.1	220.5	6.9

*Continued Over*

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated buildings are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

## Summary of all dwellings (continued)

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
<a href="#">0006751523-02</a>	601	220.3	6.4	226.7	6.9
<a href="#">0006751515-02</a>	602	214	4.7	218.8	6.9
<a href="#">0006751606-02</a>	401A	224.5	0.4	224.8	6.9
<a href="#">0006751598-02</a>	401B	137.1	2.4	139.5	7.9
Average		197.52	2.74	200.28	7.18

## Explanatory Notes

### About this report

This summary rating is the average rating of all NCC Class 2 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

Drawing Title	
<b>Cover Page</b>	
Drawing No.	Revision
<b>A - 0010</b>	<b>H</b>
Drawing Scale	



Lot 794 DP 1119757, 30 Diggings Terrace, Thredbo Village,  
Thredbo Alpine Resort, Kosciuszko National Park



LOCALITY MAP - 30 DIGGINGS TERRACE, THREDBO

Sheet Number	Sheet Name	Current Revision
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<b>Hidali Pty.Ltd.</b>	
Horticulturist	
<b>Elizabeth MacPhee</b>	
Structural Engineer	
<b>PMI Engineers</b>	DP NO. DEP0001581
Geotech Engineer	
<b>Alliance Geotechnical</b>	DP NO. DEP0001911
Mechanical Engineer	
<b>Don Rowling</b>	DP NO. PDP00008113
Electrical Engineer	
<b>Andrew Lim</b>	DP NO. DEP0002266
Hydraulic and Stormwater Engineer	
<b>SHA</b>	DP NO. DEP0001879
Facade Engineer	
<b>Partridge</b>	DP NO. DEP0000724

A - 0010	Cover Page	H
A - 0020	Site Plan	H
A - 0050	Proposed External Materials	H
A - 1002	Level 2 - GA Plan	H
A - 1003	Level 3 - GA Plan	H
A - 1004	Level 4 - GA Plan	H
A - 1005	Level 5 - GA Plan	H
A - 1006	Level 6 - GA Plan	H
A - 1007	Roof - GA Plan	H
A - 3001	North Elevation	H
A - 3002	South Elevation	H
A - 3003	East Elevation	H
A - 3004	West Elevation	H
A - 4001	Section AA <sup>1</sup> - General	H
A - 4002	Section BB <sup>1</sup> - General	H
A - 4003	Section CC <sup>1</sup> - General	H

Project:	Address:	30 Diggings Terrace Thredbo Village			
	Applicant:	Hidali Pty Ltd			
Contact:	Name:	Elaine Yang			
	Contact:	<a href="mailto:elaine@bellevarde.com.au">elaine@bellevarde.com.au</a>			
Assessor:	Name:	Ailin Zhang		Company:	Lin & Associates
	Address:	PO Box 5080, Sth Turramurra. 2074		Number:	DMN/19/1894
	Contact:	0412-988088		Email:	<a href="mailto:ailin@linassociates.com.au">ailin@linassociates.com.au</a>
Ext. Walls:	Construction	Insulation	Colour	Details	
	Metal Cladding	R1.5	Med	As per plans	
Int. Walls:	Construction			Details	
	Plasterboard on studs	None		As per plans	
	Concrete lined	None		Party walls	
Floors:	Construction	Insulation		Details	
	Concrete	None		Tile, Carpet	
		R2.0		Floors above car park	
Ceilings:	Construction	Insulation		Details	
	Concrete/plasterboard	R2.0		In unit 201A & 202A with car park above	
	Suspended Plasterboard	R2.0		Under all roofs	
Roof:	Construction	Insulation	Colour	Details	
	Concrete	None	Med	As per plans	
	Metal	60mm Anticon R1.3	Dark		
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Window types
				2.30/0.43	Doors
				1.90/0.62	Fixed windows
				3.10/0.32	Awning windows
				2.40/0.28	Sliding doors
Skylights:	Product ID	Glass	Frame	Uw/SHGCw	Details
	N/A				
Other:	Orientation	Terrain	Weatherseals	Climate Zone	Recessed Downlights
	70	Suburban	Yes	69	YES - SEALED TYPE ONLY



Certification Number:		0006751630		Date:		07-June-2022	
Unit No.	Insulation Summary (refer also to table above)						
	Floor Insulation R2.0 above Car Park	Ext Wall Insulation R1.5	Ceiling Insulation R2.0	Roof Insulation 60mm Anticon R1.3			Sealed exhaust vents & SEALED Recessed Downlights ONLY
201		X	X				X
202		X	X				X
401A	X	X					X
401B	X	X					X
402	X	X					X
501		X					X
502		X					X
601		X	X	X			X
602		X	X	X			X

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Consent No.  
DA No. 10064  
Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Site Plan  
Drawing No.  
A - 0020  
Drawing Scale  
1 : 100

Revision  
H

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
E	Consultant Coordination 2
F	CC 2 Approval
G	S4.55 Coordination
H	S4.55 Approval

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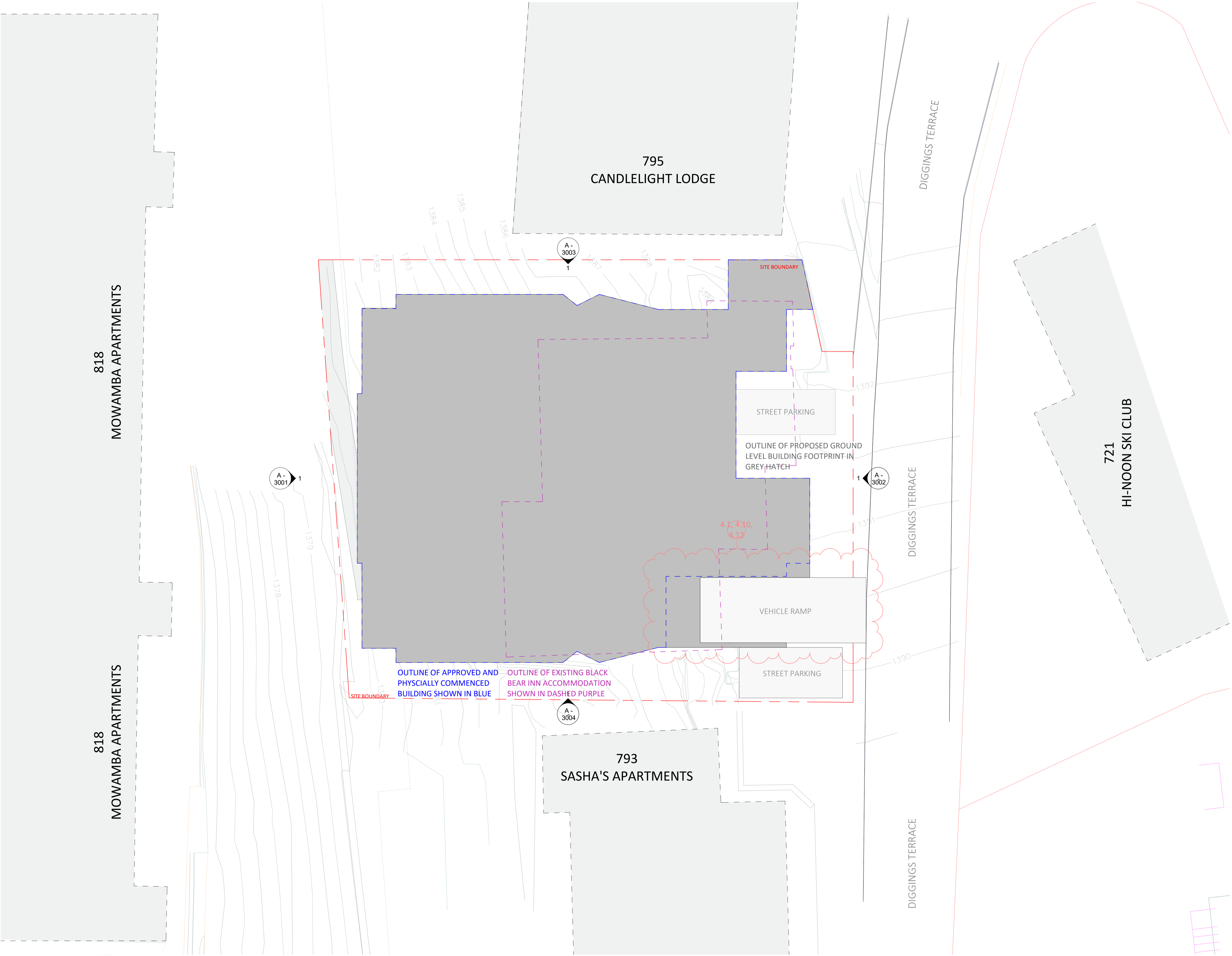
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Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Proposed External Materials  
Drawing No.                      Revision  
A - 0050                      H  
Drawing Scale



Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
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F	CC 2 Approval
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RM1  
Rendered Masonry (Light)



RM2  
Rendered Masonry (Dark)



MT1  
Metal Cladding (Type 1)  
NON-COMBUSTIBLE AS DEFINED BY BCA  
AND AS 1530.1



MT2  
Metal Cladding (Type 2)  
NON-COMBUSTIBLE AS DEFINED BY BCA  
AND AS 1530.1



MT3  
Metal Cladding (Type 3)  
NON-COMBUSTIBLE AS DEFINED BY BCA  
AND AS 1530.1

CLARIFICATION:  
WINDOW FRAME  
& WINDOW  
FRAME EXTENSION  
MATERIAL

10.2



ST  
Stacked Stone



CONC  
Concrete



MDR  
Metal Deck Roof



FC  
High Grade Fibre Cement Sheet  
(Concrete Finish)

CLARIFICATION:  
ROOF FASCIA FINISHING  
MATERIAL

7.1



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Drawing Title	
<b>Level 0 - GA Plan</b>	
Drawing No.	Revision
<b>A - 1000</b>	<b>H</b>
Drawing Scale	
<b>1 : 50</b>	

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
E	Consultant Coordination 2
F	CC 2 Approval
G	\$4.56 Coordination
H	\$4.56 Approval
I	\$4.56 Amendments - Response to DoP Letter [04.05.2022]

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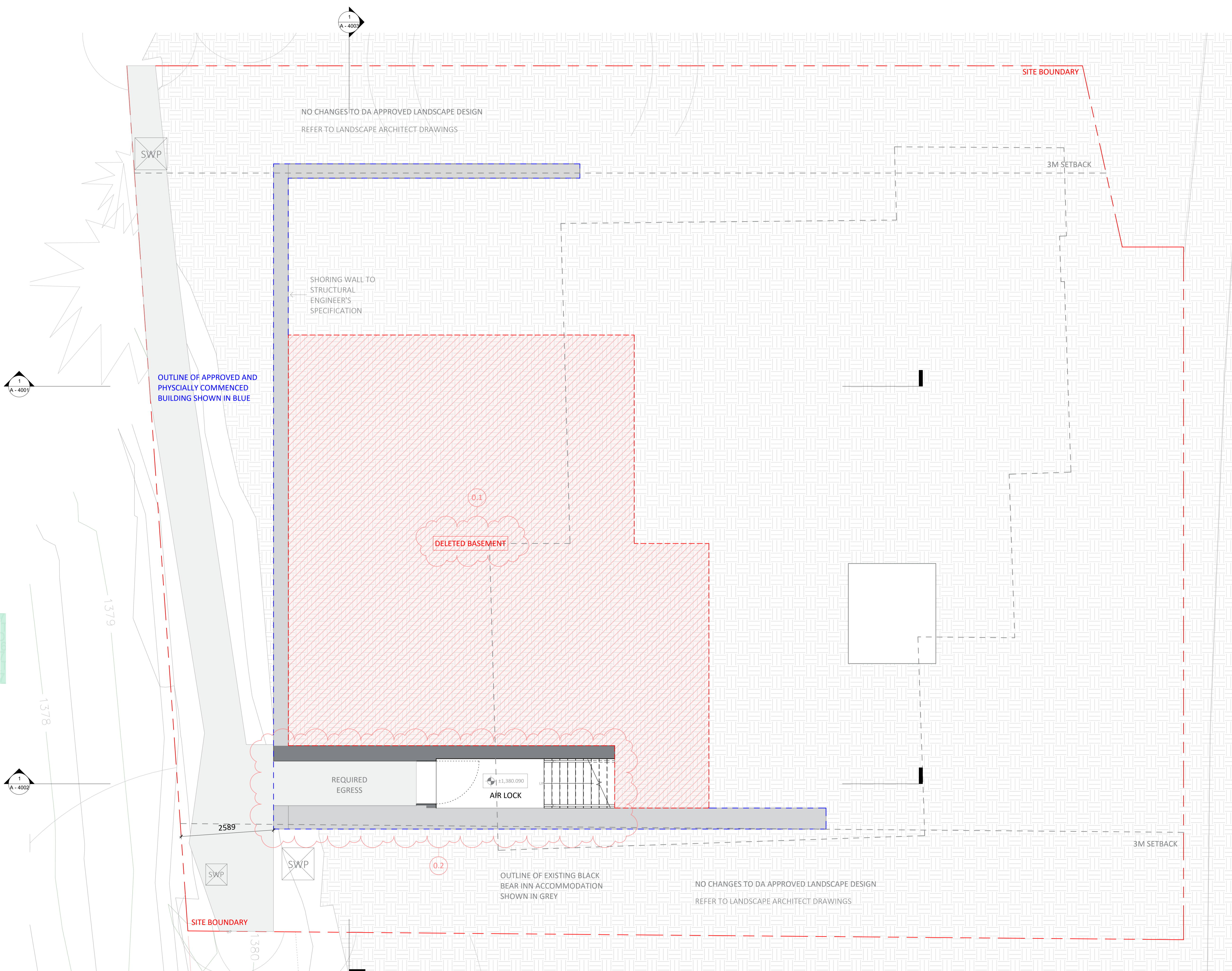
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DELETION OF LEVEL 0  
BASEMENT

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<b>Partridge</b>	DP NO. DEP0000724



Drawing Title	
<b>Level 1 - GA Plan</b>	
Drawing No.	Revision
<b>A - 1001</b>	<b>H</b>
Drawing Scale	
<b>1 : 50</b>	

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
E	Consultant Coordination 2
F	CC 2 Approval
G	\$4.56 Coordination
H	\$4.56 Approval
I	\$4.56 Amendments - Response to DoP Letter [04.05.2022]

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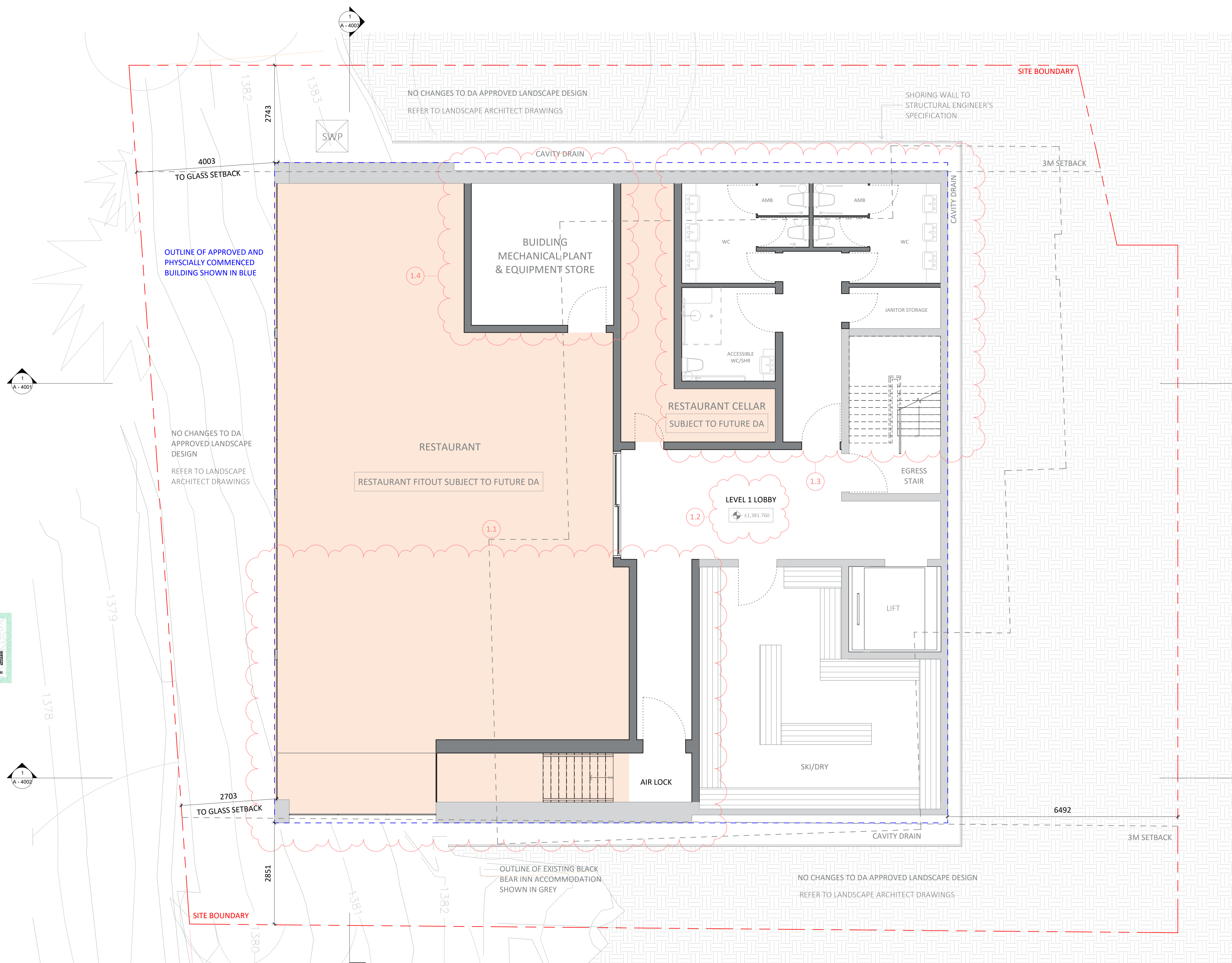
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<b>Partridge</b>	DP NO. DEP0000724



Consent No.  
DA No. 10064  
Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Level 2 - GA Plan  
Drawing No.  
A - 1002  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
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F	CC 2 Approval
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NOTE:  
APPROVED BALCONY  
OUTLINE

NOTE:  
PROPOSED BALCONY  
OUTLINE -  
CORRECTION OF  
MISALIGNMENT OF 202  
BALCONY (WITHIN  
APPROVED BOUNDARY  
OUTLINES)

OUTLINE OF APPROVED AND  
PHYSICALLY COMMENCED  
BUILDING SHOWN IN BLUE

OUTLINE OF EXISTING BLACK  
BEAR INN ACCOMMODATION  
SHOWN IN DASHED PURPLE

NOTE:  
APPROVED RETAINING WALL  
OUTLINE

NOTE:  
REPOSITIONED OF RETAINING  
WALL

SITE BOUNDARY

3M SETBACK

3M SETBACK

Consent No.  
DA No. 10064  
Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Level 3 - GA Plan  
Drawing No.  
A - 1003  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
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F	CC 2 Approval
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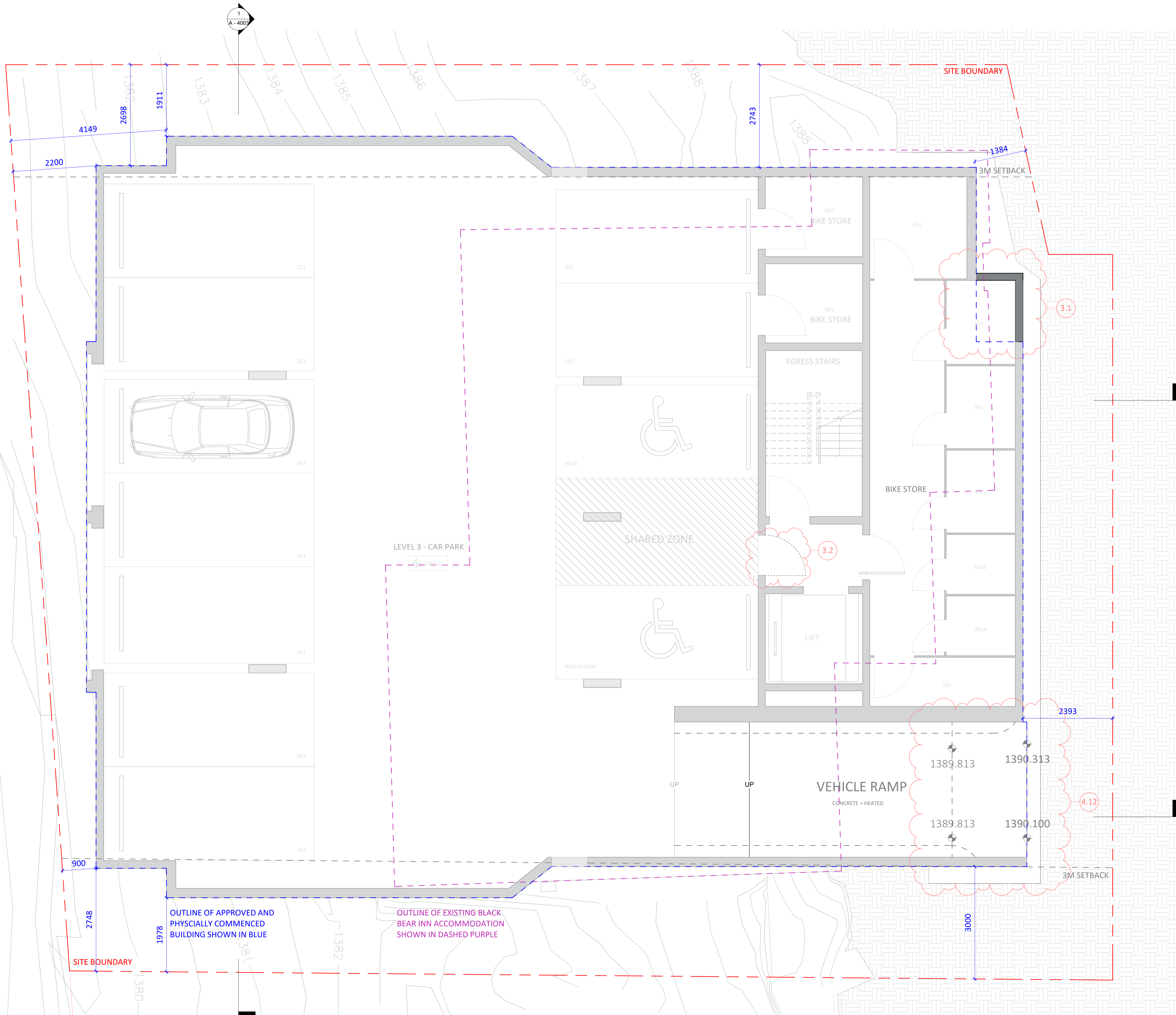
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Consent No.  
DA No. 10064  
Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Level 4 - GA Plan  
Drawing No.  
A - 1004  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
E	Consultant Coordination 2
F	CC 2 Approval
G	S4.55 Coordination
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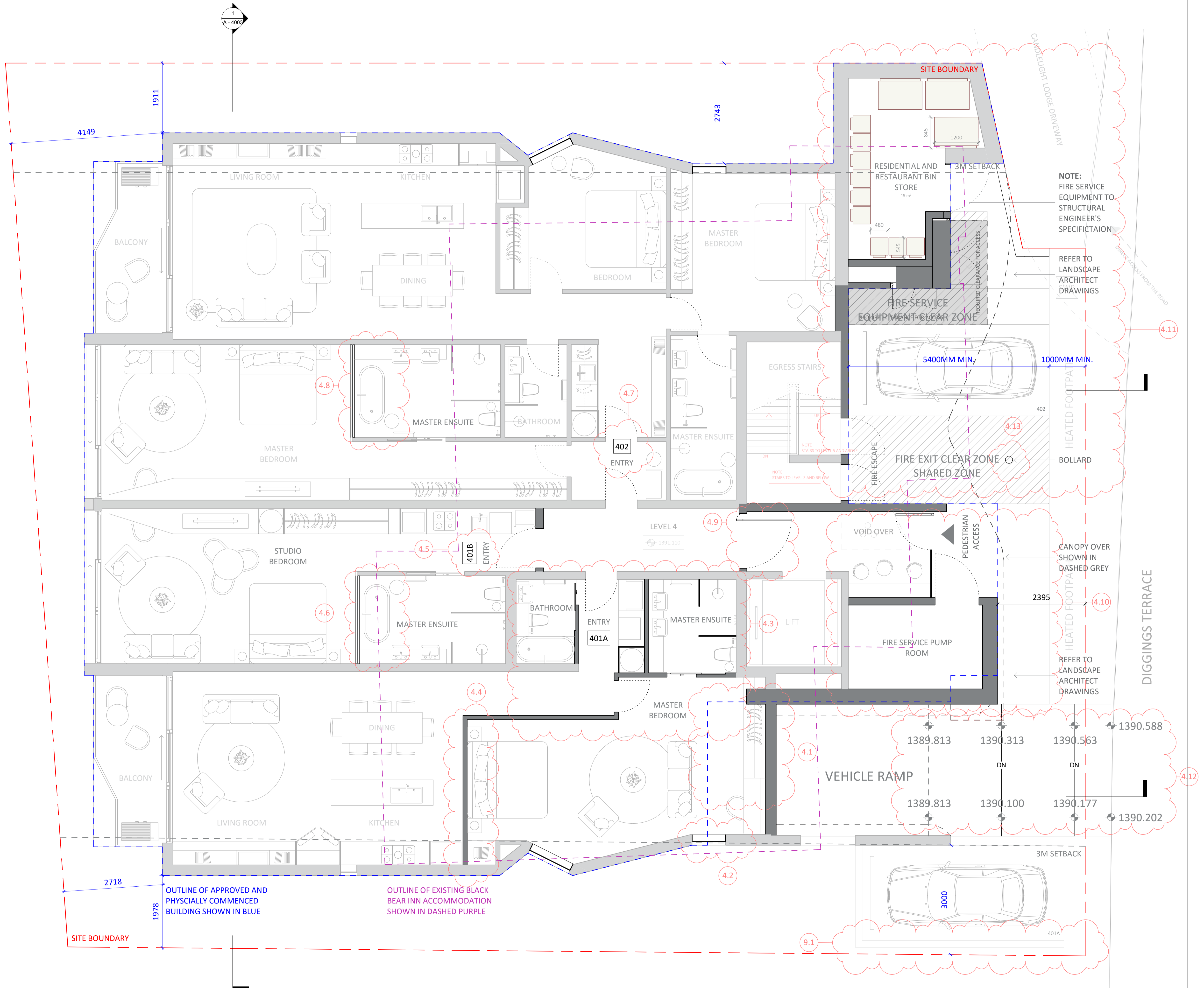
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Drawing Title	
<b>Level 5 - GA Plan</b>	
Drawing No.	Revision
<b>A - 1005</b>	<b>H</b>
Drawing Scale	
<b>1 : 50</b>	

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
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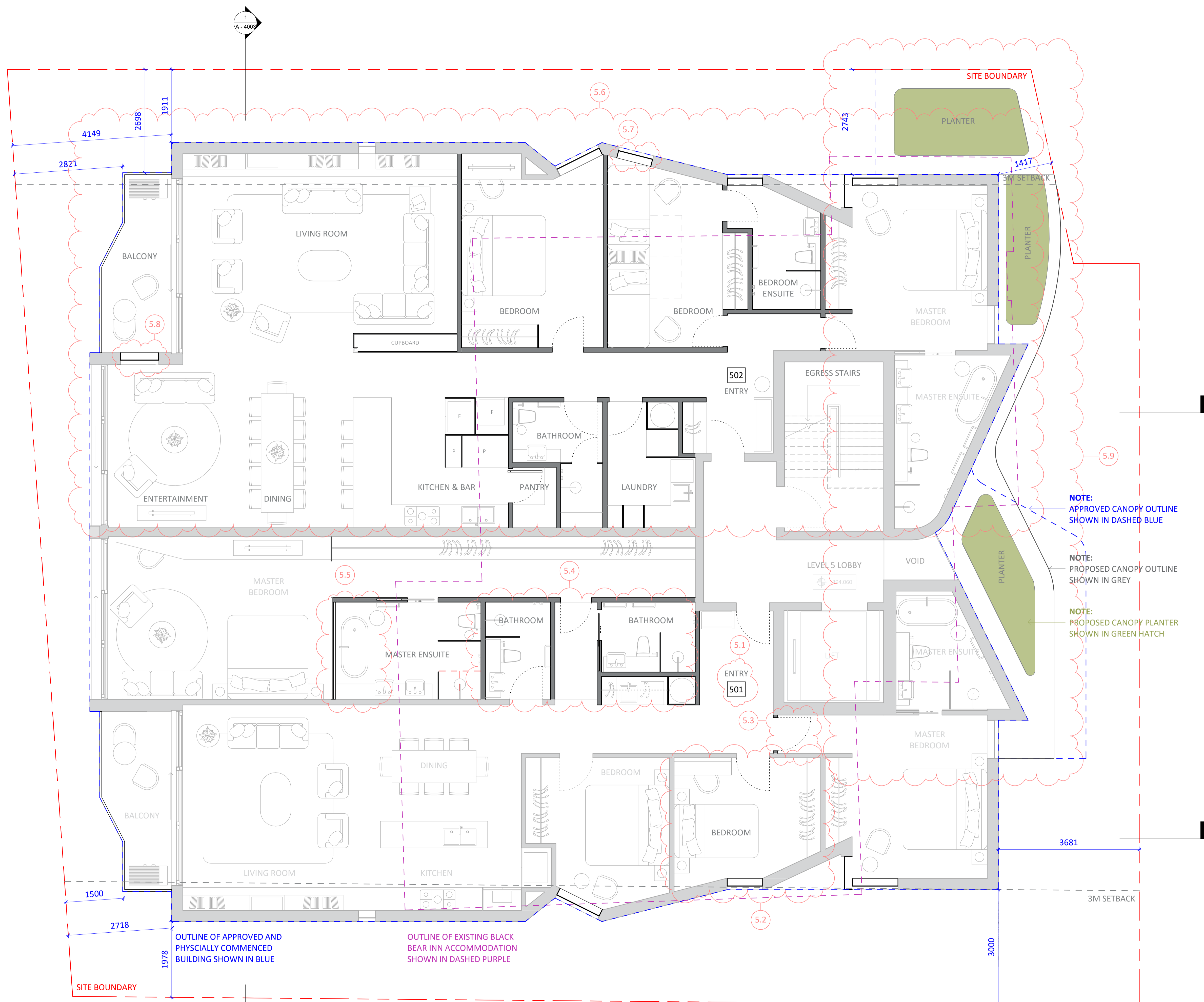
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<b>Elizabeth MacPhee</b>	
<b>Structural Engineer</b>	
<b>PMI Engineers</b>	DP NO. DEP0001581
<b>Geotech Engineer</b>	
<b>Alliance Geotechnical</b>	DP NO. DEP0001911
<b>Mechanical Engineer</b>	
<b>Don Rowling</b>	DP NO. PDP0000811
<b>Electrical Engineer</b>	
<b>Andrew Lim</b>	DP NO. DEP0002266
<b>Hydraulic and Stormwater Engineer</b>	
<b>SHA</b>	DP NO. DEP0001879
<b>Facade Engineer</b>	
<b>Partridge</b>	DP NO. DEP0000724



Consent No.  
DA No. 10064  
Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Level 6 - GA Plan  
Drawing No.  
A - 1006  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
E	Consultant Coordination 2
F	CC 2 Approval
G	S4.55 Coordination
H	S4.55 Approval

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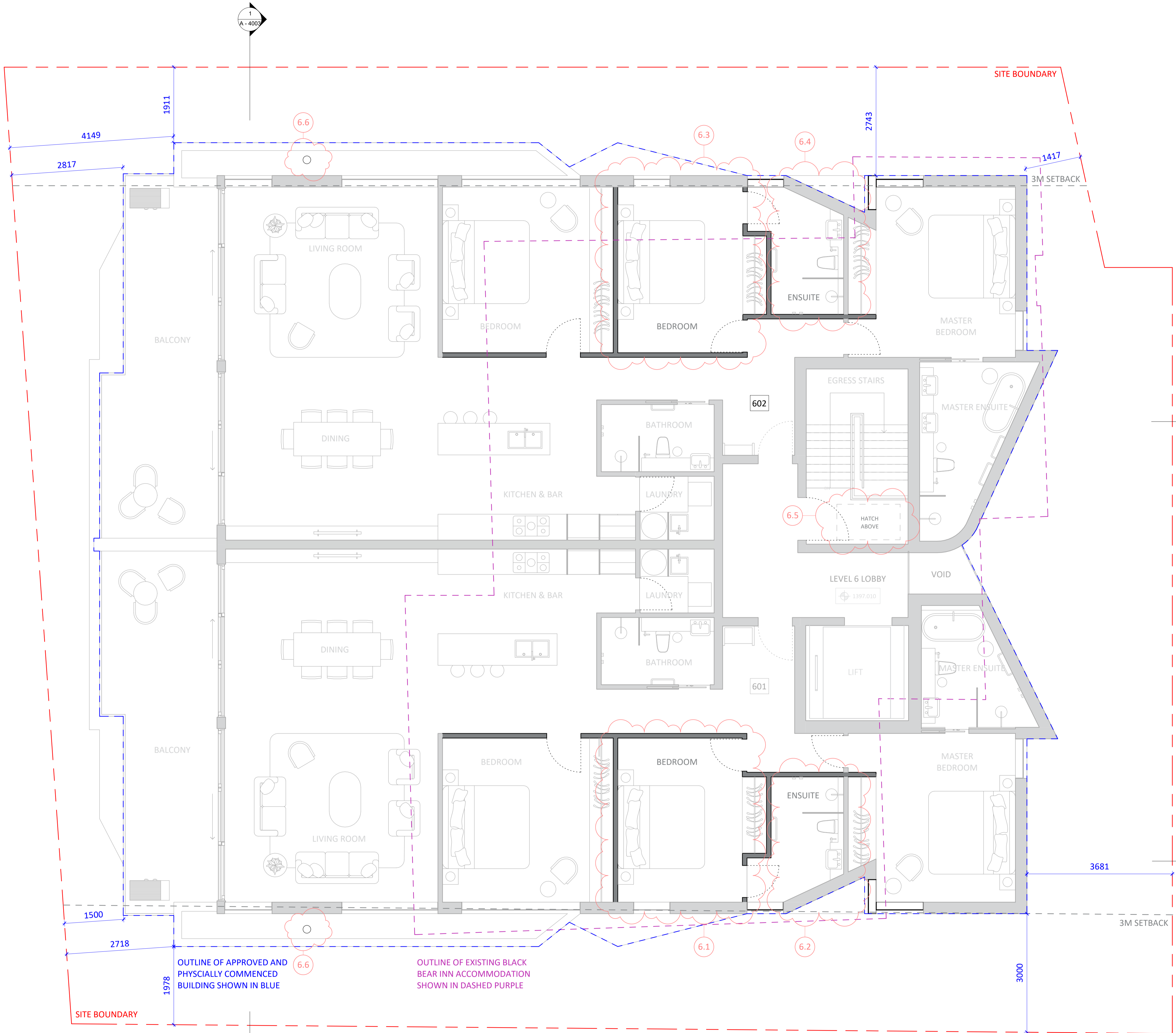
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Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
Roof - GA Plan  
Drawing No.  
A - 1007  
Drawing Scale  
1 : 50

Revision  
H

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
E	Consultant Coordination 2
F	CC 2 Approval
G	S4.55 Coordination
H	S4.55 Approval

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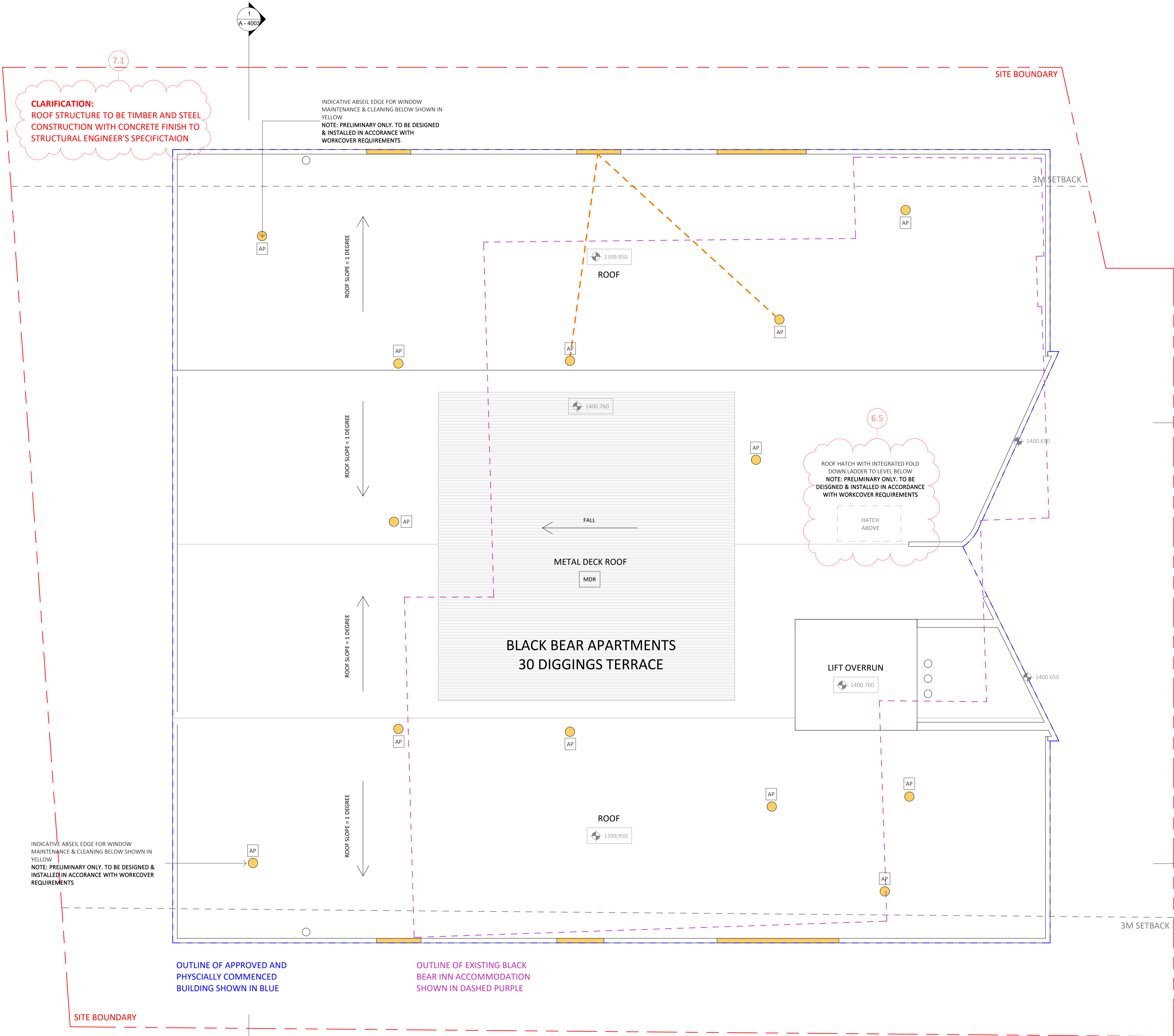
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Project Address  
30 Diggings Terrace, Thredbo,  
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Project Year  
2021

Drawing Title  
North Elevation  
Drawing No.  
A - 3001  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
B	Cost Plan
C	Internal Review
D	CC 1 Approval
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Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
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Project Year  
2021

Drawing Title  
South Elevation  
Drawing No.  
A - 3002  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
B	Cost Plan
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D	CC 1 Approval
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Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
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Project Year  
2021

Drawing Title  
East Elevation  
Drawing No.  
A - 3003  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
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D	CC 1 Approval
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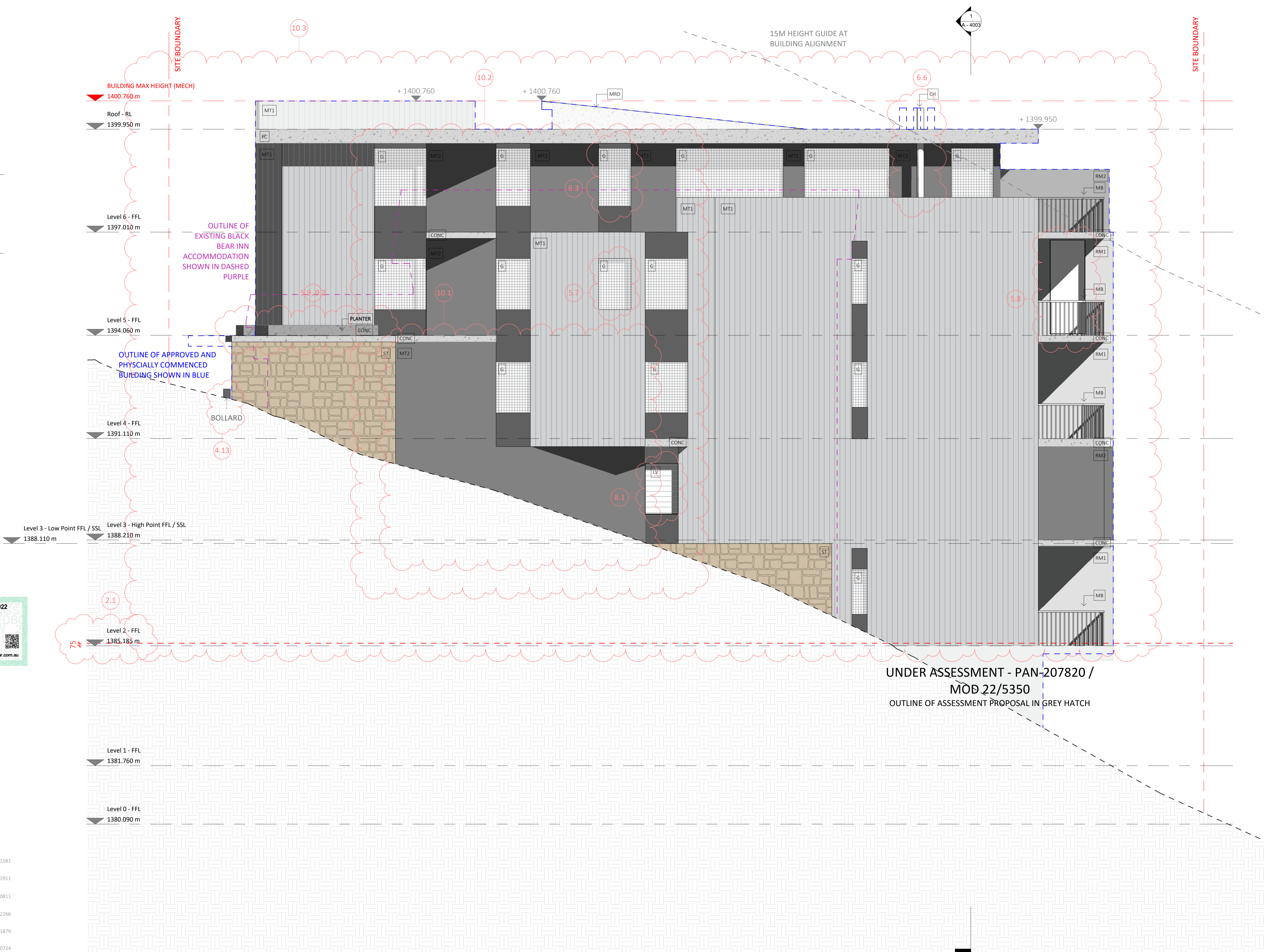
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UNDER ASSESSMENT - PAN-207820 /  
MOD 22/5350  
OUTLINE OF ASSESSMENT PROPOSAL IN GREY HATCH

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DA No. 10064  
Project Title  
Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
NSW 2625  
Project Year  
2021

Drawing Title  
West Elevation  
Drawing No.  
A - 3004  
Drawing Scale  
1 : 50

Rev.	Description
A	Consultant Coordination
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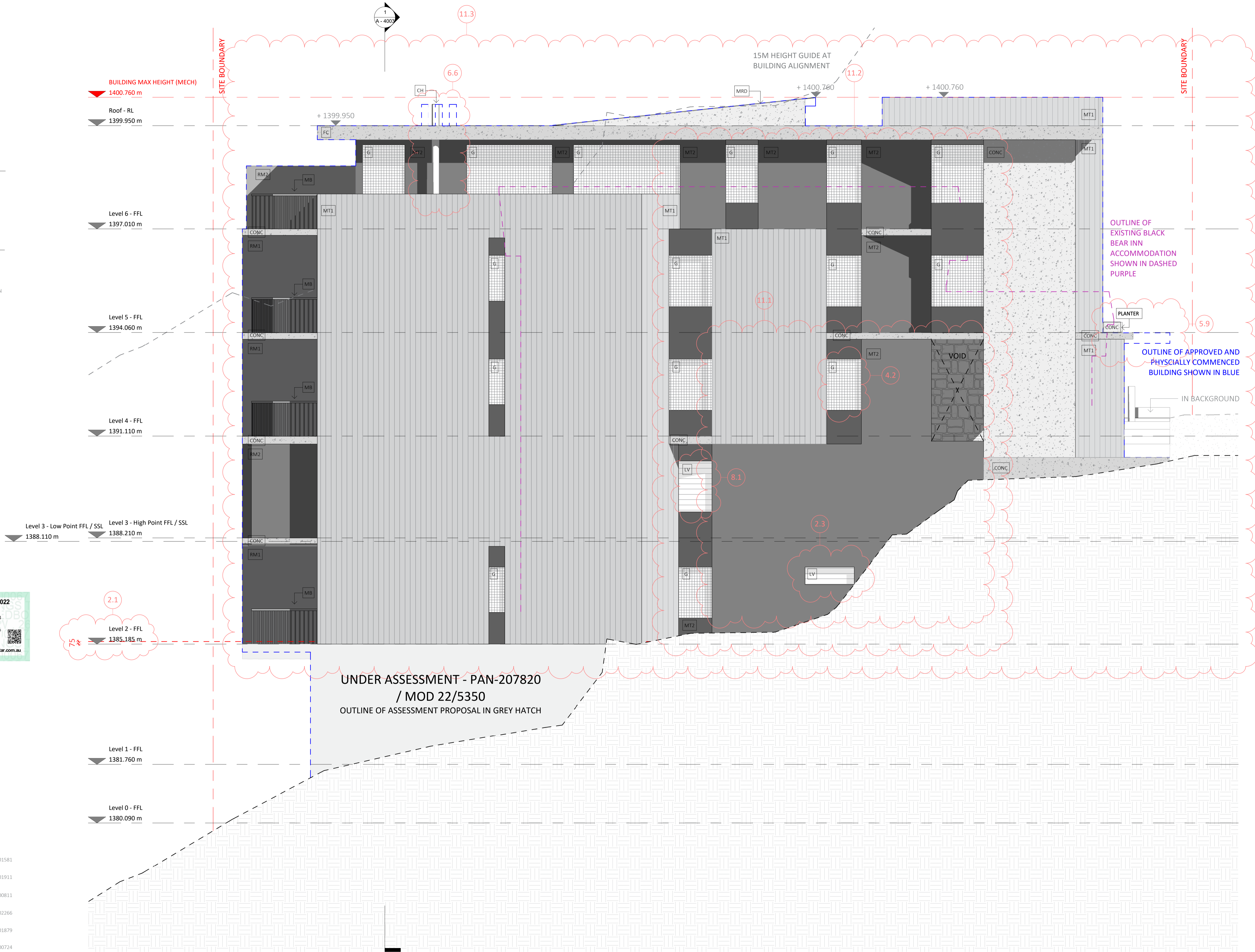
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Project Address  
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2021

Drawing Title  
Section BB' - General  
Drawing No.  
A - 4002  
Drawing Scale  
1 : 50

Rev.	Description
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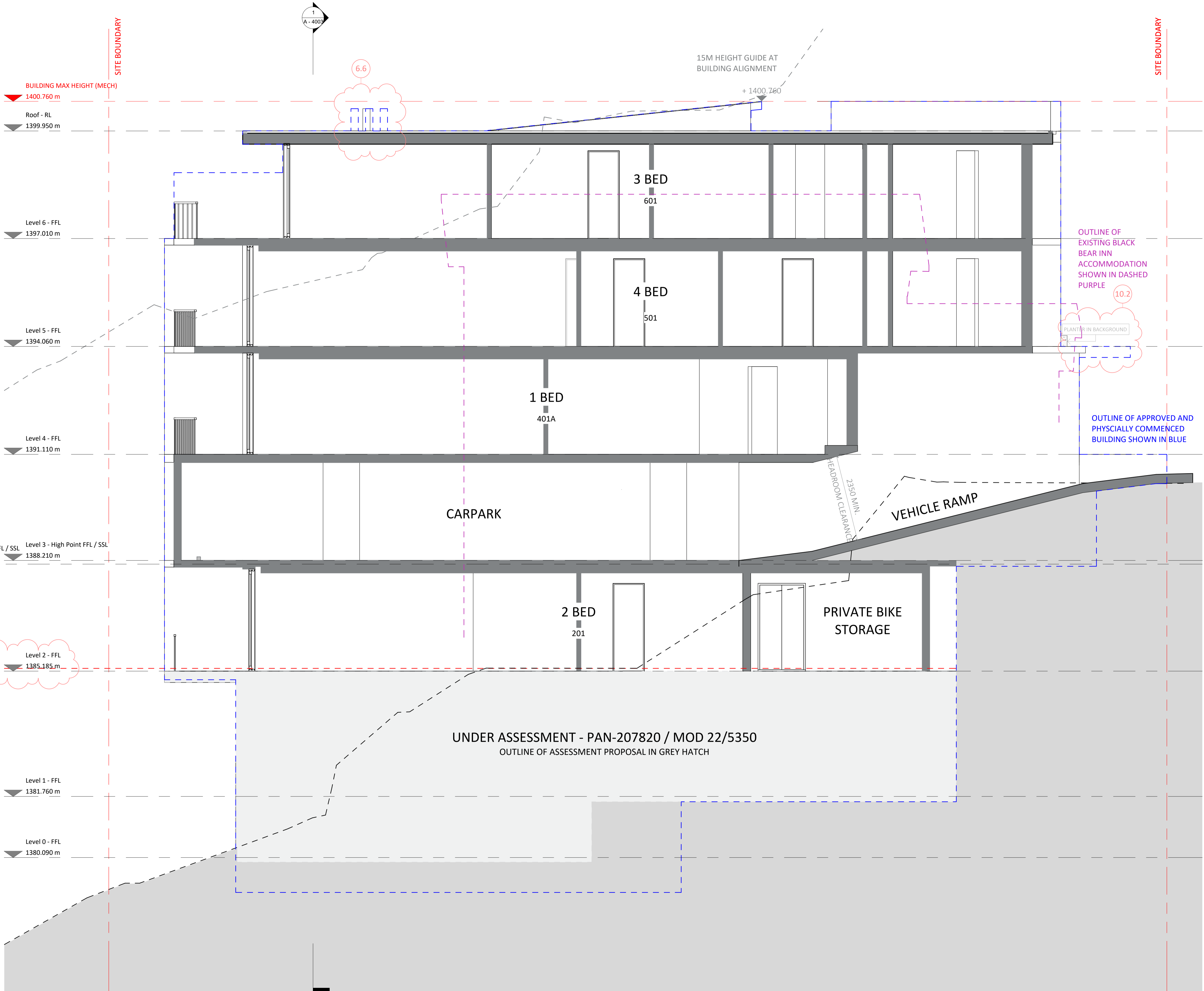
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Black Bear  
Project Address  
30 Diggings Terrace, Thredbo,  
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Project Year  
2021

Drawing Title  
Section CC' - General  
Drawing No.  
A - 4003  
Drawing Scale  
1 : 50

Rev.	Description
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